



Offers In The Region Of £175,000 Freehold

13 LANSBURY ROAD | SUTTON-IN-ASHFIELD | NG17 5DL

**BuckleyBrown**  
ESTATE AGENTS

## COMFORTABLE AND PRACTICAL FAMILY HOME IN A POPULAR RESIDENTIAL AREA...

Nestled on the charming Lansbury Road in Sutton-In-Ashfield, this delightful semi-detached house offers a perfect blend of comfort and convenience. Recently refurbished, the property has been thoughtfully decorated, combining modern finishes with classic charm. Situated in a friendly neighbourhood, it is an ideal choice for families and professionals alike, promising a warm welcome from the moment you arrive.

Upon entering, you are greeted by a spacious hall that sets the tone for the rest of the home. Just off the hallway is a versatile playroom or office space, ideal for working from home or as a children's play area. Additionally, the property benefits from built-in storage, providing practical solutions to keep the home organised. The ground floor also boasts a well-appointed kitchen, perfect for culinary enthusiasts, and a generously sized living room filled with natural light, creating a warm and inviting space for both relaxation and entertaining.

Venturing to the first floor, you will discover three spacious bedrooms, each offering a tranquil retreat for rest and relaxation. These well-proportioned rooms provide flexibility for various needs, whether for a growing family, a home office, or guest accommodation. The layout ensures that everyone has their own space while remaining connected to the heart of the home.

Outside, the property features a lovely garden, ideal for enjoying sunny afternoons, hosting barbecues, or simply unwinding with a good book. With its recent refurbishment, versatile living spaces, and charming surroundings, this semi-detached house on Lansbury Road represents a wonderful opportunity for anyone seeking a comfortable and inviting home in Sutton-In-Ashfield.

Call today to arrange a viewing!!!





#### Hall

Tiled flooring hallway leading to the;

#### Storage Room

With sliding doors and providing extra storage space.

#### Play Room

This versatile room offers ample space to be utilised to suit your needs, such as a play room or home office.

#### Kitchen 9'11" x 10'11"

Matching cabinets with generous worktop space, integrated appliances including an oven and inset sink, central heating radiator, and a window to the front elevation.

#### Living Room 12'0" x 17'6"

Carpeted flooring with central heating radiator, and windows to the front and rear elevation.

#### Landing

Landing leading to the first floor bedrooms.

#### Bedroom One 12'0" x 11'4"

Spacious bedroom with carpeted flooring with central heating radiator and window to the front elevation.

#### Bedroom Two 9'11" x 10'11"

Spacious bedroom with carpeted flooring with central heating radiator and window to the front elevation.



#### Bedroom Three 8'9" x 5'7"

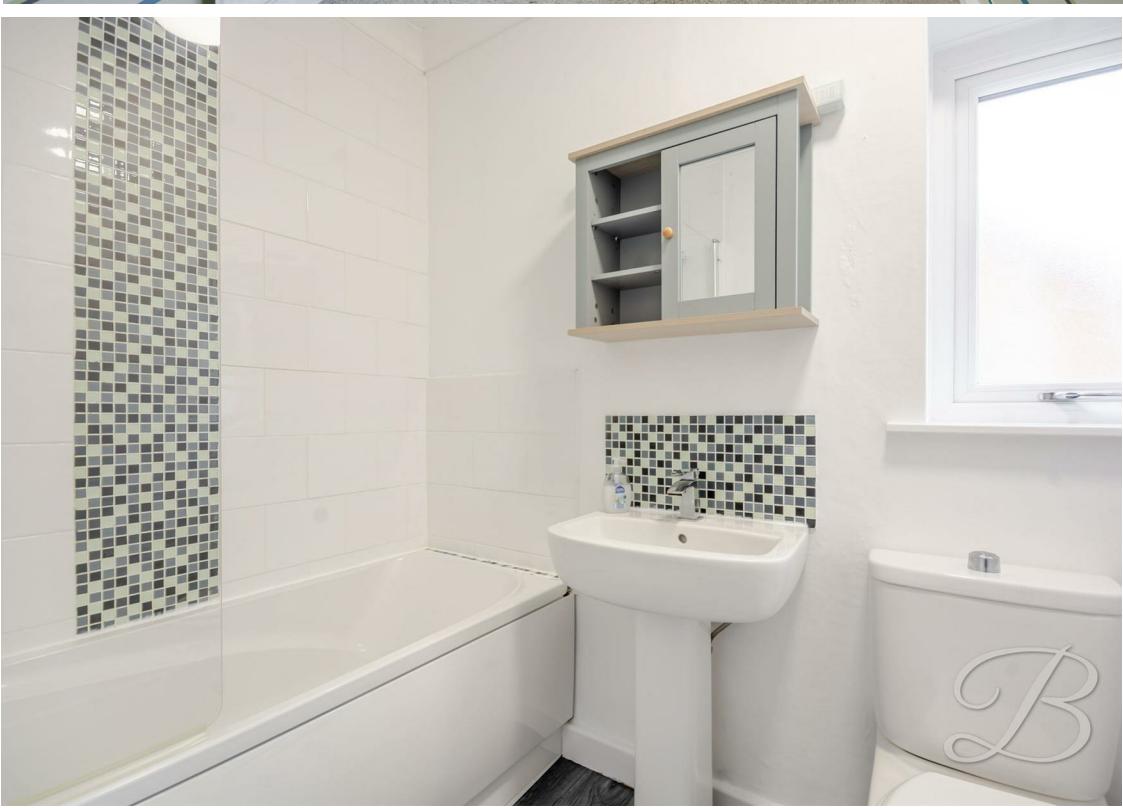
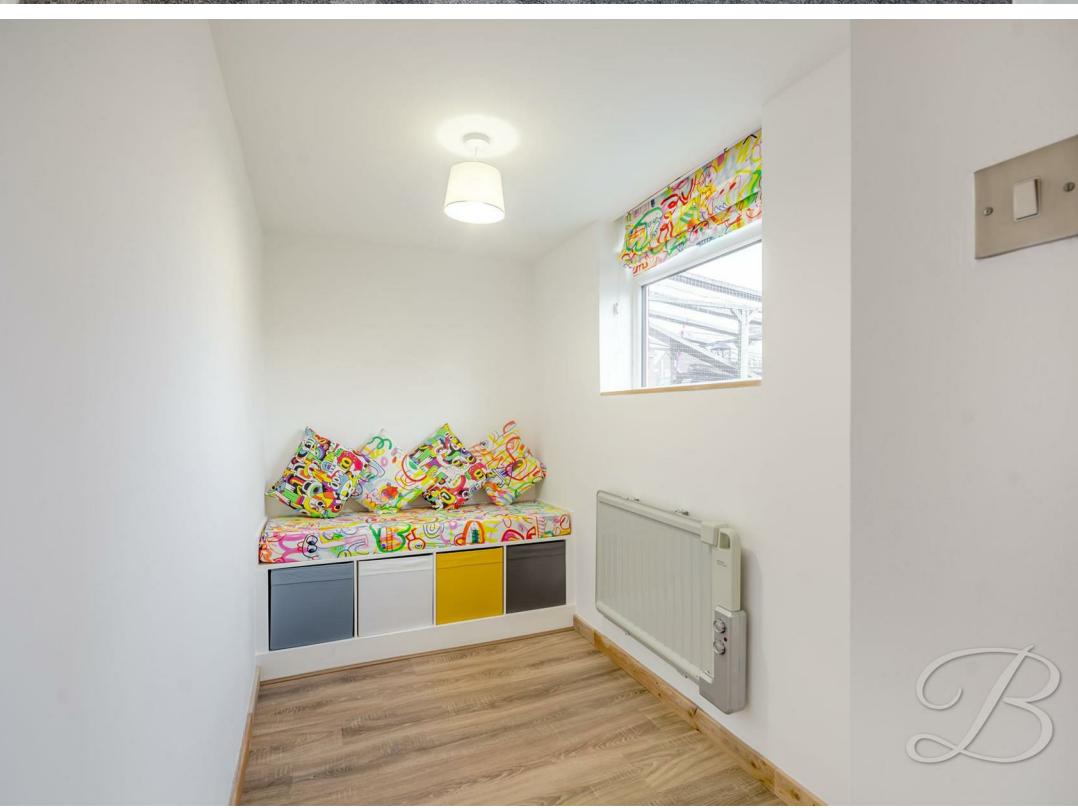
Third bedroom with carpeted flooring with central heating radiator and window to the rear elevation.

#### Bathroom 5'7" x 6'11"

Three piece suite with bath, low flush WC and hand wash basin.

#### Outside

A driveway to the front elevation providing off-road parking for two vehicles alongside a lawned area. To the rear, the property boasts a spacious lawned garden complemented by a patio area, ideal for outdoor seating and entertaining.





Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, no responsibility is taken for incorrect measurements of doors, windows, appliances and room or any error, omission or misstatement. Exterior and interior walls are drawn to scale based on interior measurements. Any figure given is for initial guidance only and should not be relied on as basis of valuation. These plans are for marketing purposes only and should be used as such by any prospective purchase. Specifically no guarantee is given on the total square footage of the property if quoted on this plan.

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Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-81) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
EU Directive 2002/91/EC		

80

61

England & Wales

IMPORTANT: we would like to inform prospective purchasers that these sales particulars have been prepared as a general guide only. A detailed survey has not been carried out, nor the services, appliances and fittings tested. Room sizes should not be relied upon for furnishing purposes and are approximate. If floor plans are included, they are for guidance only and illustration purposes only and may not be to scale. If there are any important matters likely to affect your decision to buy, please contact us before viewing the property.

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